

DATE OF MEETING June 20, 2022

AUTHORED BY CALEB HORN, PLANNER, CURRENT PLANNING

**SUBJECT DEVELOPMENT PERMIT APPLICATION NO. DP1252  
– 515, 529, & 635 TERMINAL AVENUE NORTH**

## **OVERVIEW**

### **Purpose of Report**

To present for Council's consideration a development permit application for a multi-family residential development at 515, 529, and 635 Terminal Avenue North.

### **Recommendation**

That Council issue Development Permit No. DP1252 for a multi-family residential development at 515, 529, and 635 Terminal Avenue North with a variance to increase the maximum permitted building height from 14.0m to 15.5m.

## **BACKGROUND**

A development permit application, DP1252, was received from Matthew T. Hansen Architect, on behalf of 1302793 BC Ltd. to permit a 69-unit multi-family residential building at 515, 529, and 635 Terminal Avenue North.

### **Subject Property and Site Context**

<i>Zoning</i>	Mixed Use Corridor (COR2)
<i>Location</i>	The subject properties are located on the west side of Terminal Avenue, just north of its intersection with Townsite Road.
<i>Total Area</i>	3,571m <sup>2</sup>
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Corridor Map 3 – Development Permit Area DPA No. 7 – North Terminal Avenue Area; and Development Permit Area DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial/Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines; and, Newcastle + Brechin Neighbourhood Plan Urban Design Framework and Guidelines

The subject properties are located in the Newcastle Neighbourhood, between Terminal Avenue to the east and the Island Rail Corridor to the west. The properties slope downhill approximately 5m from west to east towards Terminal Avenue. The three lots each currently contain a single residential dwelling with accessory buildings. All existing buildings will be removed and the three lots will be consolidated as part of the proposed development.

The surrounding neighbourhood consists of a mix of commercial and residential uses. Adjacent land uses include single residential dwellings across the railway to the west, an office business to the north, offices and single residential dwellings across Terminal Avenue to the east, and a motel with an accessory restaurant to the south. Recent nearby developments include a mixed-use commercial and residential development at 679 Terminal Avenue completed in 2009 and a 121-unit multi-family residential building at 775 Terminal Avenue completed in 2013. Commercial services are located within walking distance along Terminal Avenue in both directions from the subject properties.

## **DISCUSSION**

### **Proposed Development**

The applicant is proposing to construct a six-storey multi-family residential building with 69 dwelling units. The proposed unit composition is as follows:

Unit Type	Number of Units
Studio / Micro	24
One-Bedroom	41
Two-Bedroom	4

The proposed gross floor area is 4,482m<sup>2</sup> and the total Floor Area Ratio (FAR) will be 1.26. The maximum base FAR in the COR2 zone is 1.25, with the opportunity for additional density equal to 0.25 multiplied by the percentage of the total parking spaces provided underground. With 61% of the total parking proposed underground, the development will gain an additional 0.15 FAR, for a total maximum permitted FAR of 1.40.

### *Site Design*

The proposed building is oriented towards Terminal Avenue with two levels of parking, one underground, at the rear of the building. Being located within the North Terminal Avenue Development Permit Area (DPA7), new developments are expected to have restricted access from Terminal Avenue, and a north-south laneway running parallel to Terminal Avenue will be developed. Access for a future lane was previously secured through the parking areas at 679 and 775 Terminal Avenue. As a condition of the permit for the proposed development, a drive aisle between the proposed building and the parking area will be secured by a 7m-wide Statutory Right-of-Way for a future lane. The lane will not be connected to the north or south until such time as those adjacent lots redevelop.

Vehicle access to the site will be via a drive aisle from Terminal Avenue on the south side of the building. Direct access to Terminal Avenue will be closed at such a time in the future when the north-south lane is opened to connect with Cypress Street and/or Townsite Road. An upper level of parking will be provided at-grade to the rear of the building and the remaining parking will be provided below-grade, and will be accessed via a ramp from the internal drive aisle. All required parking (83 spaces) and short and long-term bicycle parking are proposed onsite. A refuse receptacle enclosure is proposed on the surface parking level.



The principal building entrance and ground floor units facing Terminal Avenue will have direct connections to the sidewalk, and a secondary entrance will face the parking level to the rear. Pedestrian routes between the sidewalk and the parking area are proposed at either end of the building. Two common outdoor amenity spaces are proposed to the rear of the site.

### *Building Design*

The building design and massing reflects the Newcastle + Brechin Neighbourhood Plan Urban Design Framework and Guidelines and incorporates heritage elements. The building will present a stepped six-storey façade on the east elevation facing Terminal Avenue and a five-storey façade on the west elevation. A significant covered entryway will be featured at the centre of the building facing the street.

The building massing is stepped back from Terminal Avenue, with a 1.5m setback above the second storey and an additional 2m setback above the fourth storey. The two-storey massing will be visually supported by columns and the four-storey massing will be flanked by prominent brick-clad sections of building. The roofline of the fourth floor will be the most conspicuous when viewed from the street, and the variety of rooflines and massing will offer significant visual interest. The uppermost floor of the building will also be stepped back substantially from the north and south property lines.

The exterior building cladding will feature a mix of brick cladding and cementitious panel siding. Building materials will be accented by dark fascia and trim, and wood soffits and panels. All units will have either a private patio or balcony.

### *Landscape Design*

The proposed landscape plan includes a landscape buffer and eight trees along the front property line. An additional 27 trees are proposed throughout the site and parking area. Other planting is proposed around the outdoor amenity areas, next to the underground parking ramp, at the rear of the building, and within a buffer along the north property line. The north landscape buffer will consist primarily of a yew hedge, additional plantings of kinnikinnick, honeysuckle, and lavender. The common outdoor amenity areas include a lawn and dog-walking area located in the northwest corner of the site, and a pergola with seating in the southwest corner. Each of the private ground-level patios facing Terminal Avenue will have a gated entry, privacy screens, and a small hedge and lawn. Site lighting is provided on the building, along pathways, and within the parking amenity areas.

In addition, a future landscape plan was prepared for the south side of the proposed building, where the interim vehicle access is proposed and will be converted to landscaping when the future lane is opened. Future landscaping in this area will include seating and a walkway.

### **Design Advisory Panel**

The Design Advisory Panel (DAP), at its meeting held on 2022-JAN-13, accepted DP1252 as presented with support for the proposed building height variance. The following recommendations were provided:

- Consider adding pedestrian links to the amenity spaces at the rear of the property;

- Give consideration to adding a rooftop deck/green roof, or if not possible consider adding features to the amenity spaces;
- Consider adding evergreen trees to the tree planting palette; and,
- Consider an alternate to the proposed corrugated metal fencing on the Terminal Avenue side of the building.

The applicant subsequently revised the development proposal in response to the DAP recommendations with the following changes:

- A pedestrian connection across the parking area to the amenity space in the rear was added;
- In lieu of a rooftop amenity space, the outdoor amenity space in the rear was expanded and a pergola with seating was added;
- Eight additional evergreen trees were added to the planting plan; and,
- A corrugated metal fence proposed along the front property line was replaced with a black aluminium picket fence.

## Proposed Variance

### *Maximum Building Height*

The maximum permitted building height in the COR2 zone is 14.0m. The proposed building height is 15.5m, a requested variance of 1.5m. Where at least 75% of the required parking area is located below or beneath a building in the COR2 zone, an additional 4.0m of height is permitted. The proposed development includes only 61% of the required parking underground and is thus not eligible for additional building height without a variance request.

The applicant is requesting the building height variance in order to accommodate the stepped building design on a sloping site. Building height is measured from the average grade as calculated at the outermost corners of the building. The proposed building is situated within the lower elevation of the site to minimize view impacts on properties to the west. The perceived building massing will be stepped back above the second and fourth floors facing Terminal Avenue, and the uppermost floor will be stepped back from adjacent properties to the north and south to reduce the perceived height. The applicant has also provided a view analysis (Attachment I) to demonstrate the massing of what could otherwise be constructed (a six-storey building with 75% underground parking) on the site without a height variance.

The proposed development meets the intent of the applicable design guidelines, and Staff support the proposed building height variance.

### **SUMMARY POINTS**

- Development Permit Application No. DP1252 is for a six-storey 69-unit multi-family residential building at 515, 529, and 635 Terminal Avenue North.
- A 7m-wide Statutory Right-of-Way will be secured across the rear of the subject site for a future lane parallel to Terminal Avenue.
- A variance is requested to increase the maximum permitted building height from 14.0m to 15.5m, and Staff support the proposed variance.

## **ATTACHMENTS**

ATTACHMENT A: Permit Terms and Conditions  
ATTACHMENT B: Context Map  
ATTACHMENT C: Location Plan  
ATTACHMENT D: Site and Parking Plans  
ATTACHMENT E: Building Elevations and Details  
ATTACHMENT F: Cross-Sections  
ATTACHMENT G: Streetscape  
ATTACHMENT H: Building Renderings  
ATTACHMENT I: View Analysis  
ATTACHMENT J: Landscape Plan and Details  
ATTACHMENT K: Aerial Photo

### **Submitted by:**

Lainya Rowett  
Manager, Current Planning

### **Concurrence by:**

Jeremy Holm  
Director, Development Approvals

Dale Lindsay  
General Manager, Development Services  
/ Deputy CAO

# **ATTACHMENT A**

## **PERMIT TERMS AND CONDITIONS**

### **TERMS OF PERMIT**

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 9.7.1 Size of Buildings* – to increase the maximum allowable building height from 14.0m to 15.5m.

### **CONDITIONS OF PERMIT**

1. The subject property is developed generally in accordance with the Site and Parking Plans prepared by Matthew T Hansen Architect, dated 2022-MAY-23, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Matthew T Hansen Architect, dated 2022-JUN-01 and 2022-MAY-23 as shown on Attachment E.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Prospect & Refuge Landscape Architects, dated 2022-MAY-24, as shown on Attachment J.
4. The subject properties must be consolidated into a single property prior to Building Permit issuance.
5. Registration of a 2.5m-wide Statutory Right-of-Way (SRW) as shown on Attachment D prior to building permit issuance for future road improvements along the Terminal Avenue frontage.
6. Registration of a 7.0m-wide SRW prior to building permit issuance for future public access through the site across the “future lane”, as shown on Attachment D.
7. Registration of a Section 219 Covenant prior to building permit issuance to require:
  - a) closure of the vehicle drive aisle between the future lane and Terminal Avenue at such a time as the lane is completed with vehicle access to either Cypress Street or Townsite Road; and
  - b) future development on the closed drive aisle to be in substantial compliance with the “Landscape Long-Term Plan” prepared by Prospect & Refuge Landscape Architects, dated 2022-MAY-24, as shown on sheet L2.3 of Attachment J.

# ATTACHMENT B CONTEXT MAP



N



515, 529, & 635 TERMINAL AVENUE 348

# ATTACHMENT C LOCATION PLAN



**Subject Property**

## DEVELOPMENT PERMIT APPLICATION NO. DP001252

CIVIC: 515, 529 and 635 TERMINAL AVENUE

LEGAL: LOT 5, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT, PLAN 4748; LOTS A AND B, DISTRICT LOT 96G, SECTION 1, NANAIMO DISTRICT, PLAN 6510;



## 1 of 2





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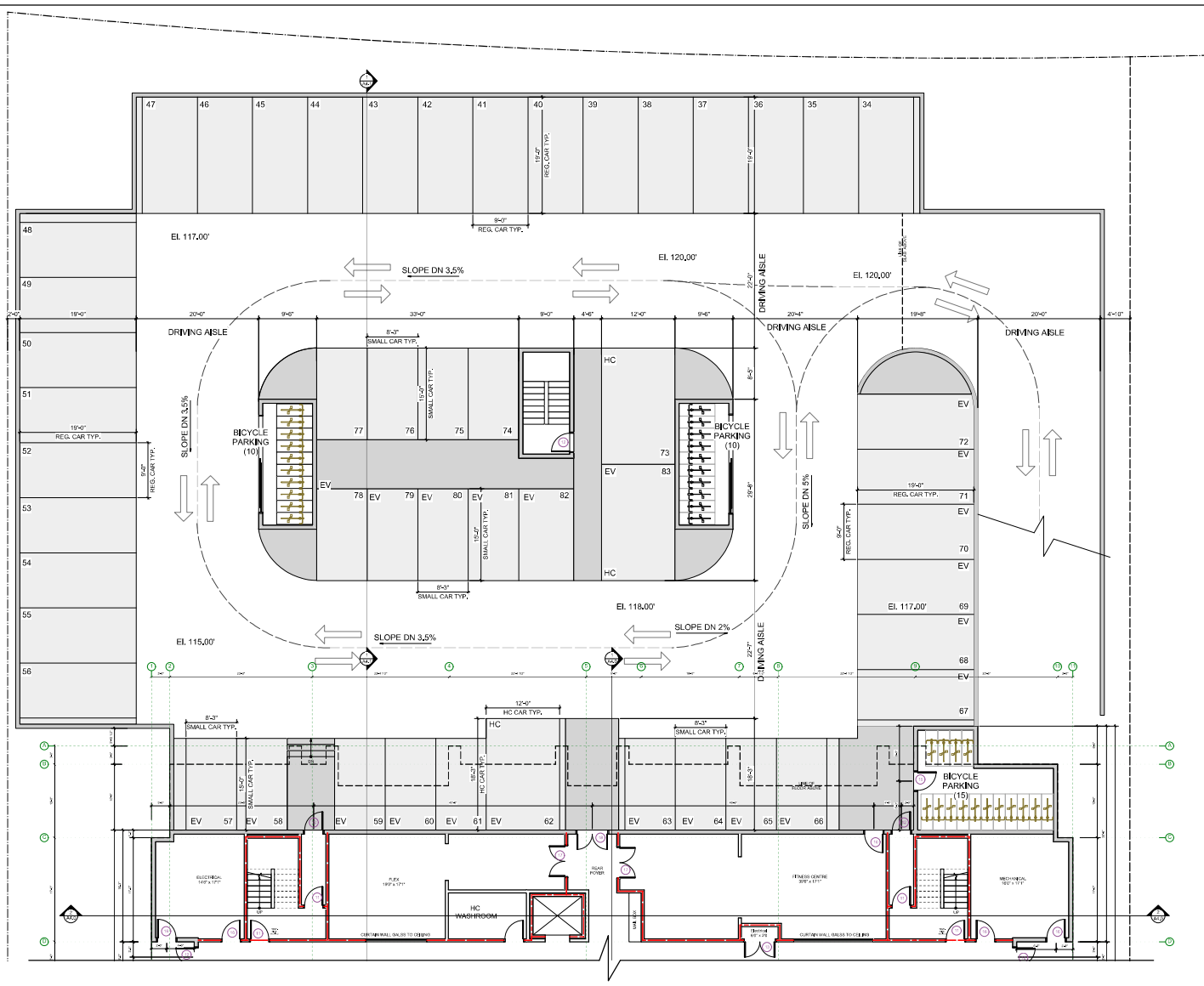
# THE STATION

ADDRESS: 528 Terminal Avenue N., Nanaimo, BC  
Legal Description: Lot A and B Plan 0510, Lot 5 Plan 4748

Revision		
No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-15	DP REG-SUBMISSION
03	2022-01-24	DAP REVIEW
04	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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Sheet Title:		
UNDERGROUND PARKADE		
Drawn: JC		Checked: MTH
Job No., TBD	Sheet No., <b>A2.0</b>	
Scale: AS NOTED		
Date: May 23, 2022		
CAD File: TBD		



1 UNDERGROUND PARKADE  
Scale: 1/8" = 1'-0"  
NOTE:  
1. DIMENSIONS WITHIN UNITS ARE TYPICAL UNLESS NOTED OTHERWISE.

ATTACHMENT E  
BUILDING ELEVATIONS AND DETAILS

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03	2022-01-24	DAP REVISION
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DP 1252  
2022-JUN-01  
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Sheet Title:

ELEVATIONS

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.:
Scale: AS NOTED	<b>A3.0</b>
Date: Jun 1, 2022	
CAD File: TBD	

Requested Height  
Variance



1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

FINISHING MATERIAL LEGEND:	
1	HARD PANEL (SMOOTH)
2	CEDAR PANEL
3	BOARD AND BATTEN
4	BRICK VENEER
5	FASCIA AND FLASHING
6	CEDAR BOFFIT (ENGLISH PORTER)
7	WINDOW TRIM
8	FINISHED CONCRETE
9	ALUMINUM DECK RAILING W/ GLASS
10	CONCRETE CAP
11	ALUMINUM WINDOW

Note:  
1. Dimensions within units are typical unless noted otherwise.

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**ELEVATIONS**

Drawn: JC	Checkd: MTH
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CAD File: TBD	



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

FINISHING MATERIAL LEGEND:	
1	HARD PANEL (SMOOTH)
2	CEDAR PANEL
3	BOARD AND BATTEN
4	BRICK VENEER
5	FASCIA AND FLASHING
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1. Dimensions within units are typical unless noted otherwise.

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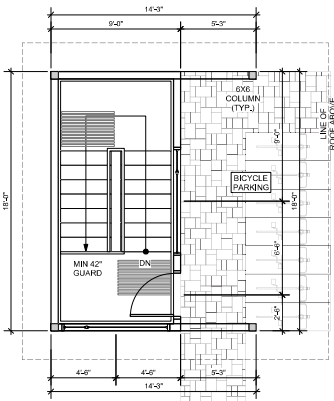
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No.	Date	Issue Notes
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02	2021-11-15	DP RE-SUBMISSION
03	2022-01-24	DAP REVIEW
04	2022-05-23	DP COMPL. LETTER REPLY

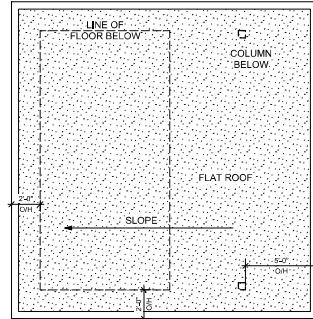
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Sheet Title:  
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ENCLOSURE**

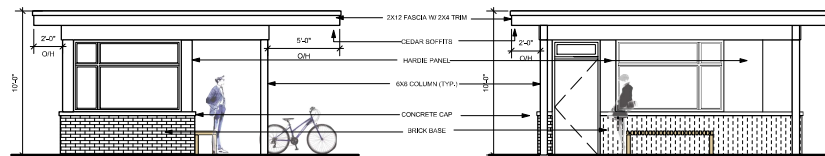
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Job No. TBD	Sheet No. A2.8
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Date: May 23, 2022	
CAD File: TBD	



1 STAIR ENCLOSURE PLAN  
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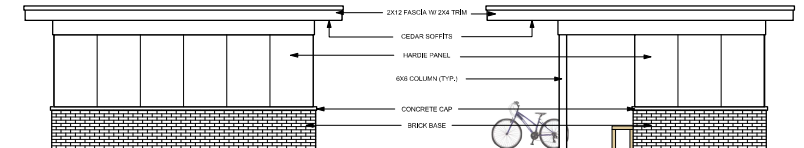


2 STAIR ENCLOSURE ROOF  
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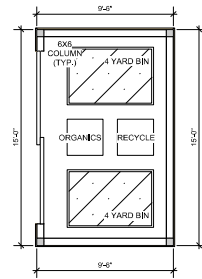
3 STAIR ENCLOSURE EAST ELEVATION  
Scale: 1/4 = 1'-0"

4 STAIR ENCLOSURE NORTH ELEVATION  
Scale: 1/4 = 1'-0"

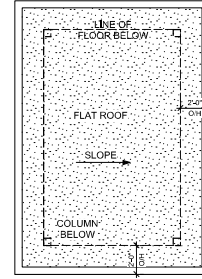


5 STAIR ENCLOSURE SOUTH ELEVATION  
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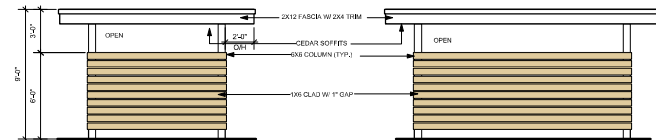
6 STAIR ENCLOSURE WEST ELEVATION  
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7 REFUSE RECEPTACLE ENCL. FLOOR PLAN  
Scale: 1/4 = 1'-0"

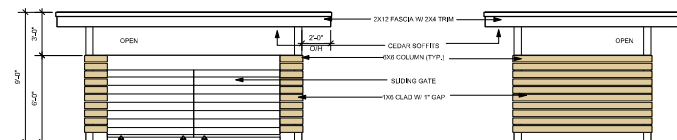


8 REFUSE RECEPTACLE ENCL. ROOF PLAN  
Scale: 1/4 = 1'-0"



9 REFUSE RECEPTACLE ENCL. EAST ELEVATION  
Scale: 1/4 = 1'-0"

10 REFUSE RECEPTACLE ENCL. NORTH ELEVATION  
Scale: 1/4 = 1'-0"



11 REFUSE RECEPTACLE ENCL. SOUTH ELEVATION  
Scale: 1/4 = 1'-0"

12 REFUSE RECEPTACLE ENCL. WEST ELEVATION  
Scale: 1/4 = 1'-0"

## REFUSE RECEPTACLE ENCLOSURE

## STAIR ENCLOSURE



Black

FASCIA & FLASHING

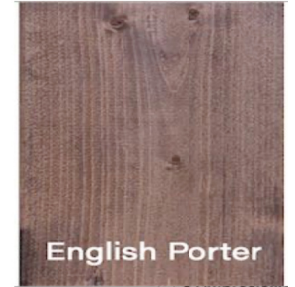


Architectural Bronze

WINDOW TRIM



BUILDING FACADE



English Porter

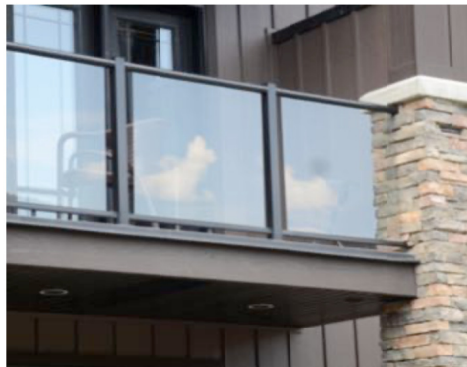
CEDAR SOFFIT



CEDAR PANEL



ALUMINUM WINDOW



DECK RAILING



BRICK CLADDING



SMOOTH PANEL

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# MATERIAL & COLOUR SAMPLES

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DP1252  
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**parkshore**  
Projects Ltd.



## 1 of 2



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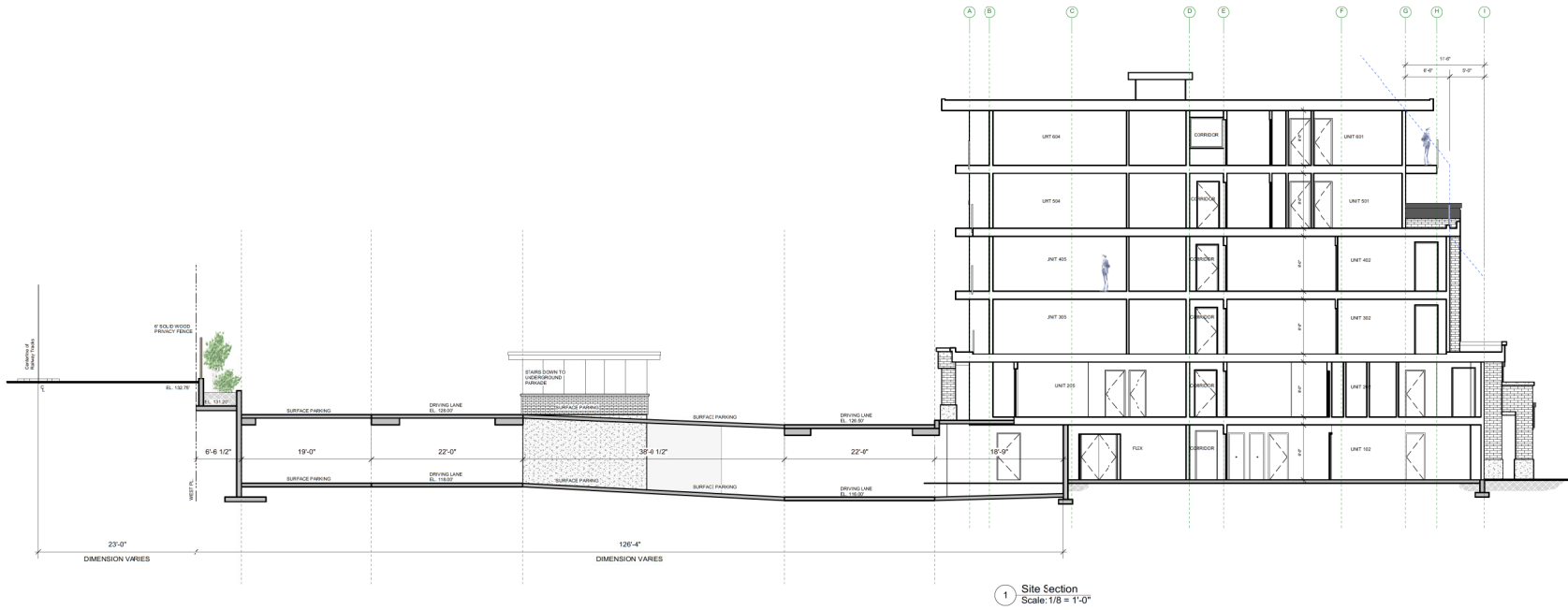
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**SECTIONS**

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# ATTACHMENT G STREETSCAPE



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03	2022-01-24	DAP REVISION
04	2022-05-2	DP COMP. LETTER REPLY

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**CONTEXT  
STREETSCAPE**

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1 STREETScape  
Scale: 3/32" = 1'-0"  
**NOTE:**  
1. DIMENSIONS WITHIN UNITS ARE TYPICAL UNLESS NOTED OTHERWISE.

# ATTACHMENT H BUILDING RENDERINGS

1 of 2



1 Station 3D Visualization Render

## 2 Consultants List

DEVELOPER	ARCHITECT	INTERIOR DESIGN	LANDSCAPE ARCHITECT	STRUCTURAL ENGINEER	BUILDING CODE CONSULTANT	CIVIL ENGINEER	BUILDING ENVELOPE	MECHANICAL ENGINEER	ELECTRICAL ENGINEER	GEOTECHNICAL	LAND SURVEYOR
<b>parkshore Projects Ltd.</b> Michael Parker 123 Nicol Street Nanaimo, B.C. V8R 4T1 T: 250-591-0118 E: mike@parkshore.ca	Matthew T. Hansen Architect Matt Hansen Architect ABC 1572 Kilmer Road North Vancouver, B.C. V7K 1R4 T: 604-683-3725 C: 604-671-2353 E: mhansen@mharchitect.ca	Studio AE Interior Design Inc. Ashley Campbell 6040 Hammond Bay Road Nanaimo, B.C. V9T 5M4 T: 250-467-7040 C: 604-671-2353 E: ashley@studioaeinteriors.com	Prospect & Relage Alyssa Semczyszyn 8150-1861 W. 2nd Ave Vancouver, B.C. V6J 1H3 T: 604-689-1003 ext. 101 C: 250-8196-4448 E: alyssa@prospectrelage.ca	Sorensen Tilguy Ltd. Khan Tran P. Eng. Unit C-5107 Somerset Drive Nanaimo, B.C. V9T 2K5 T: 250-385-1360 C: 250-8196-4448 E: ted@sorensentilguy.ca	Celerity Engineering Ltd. Delaine MacDougall 106-2750 Quayside Street Victoria, B.C. V8P 4E8 T: 604-375-0437 ext. 210 C: 250-688-6512 E: dmaccougall@celerity.ca	Herold Engineering Ltd. Patrick Ryan P. Eng. 3701 Sherrin Road Nanaimo, B.C. V9T 2H1 T: 250-751-8558 C: 778-715-8710 E: pryan@heroldengineering.com	Morrison Hershfield Jordan Bowie 630 Terminal Ave, North Nanaimo, B.C. V9S 4K2 T: 250-361-1215 C: 250-688-6512 E: jbowie@morrisonhershfield.com	Avalon Mechanical Ltd. Tim Robertson Unit 133-5220 Dublin Way Nanaimo, B.C. V9T 0H2 T: 250-285-2180 C: 250-340-1357 E: trobertson@avalonmechanical.com	RB Engineering Ltd. Les Brown Unit 4-1650 Northfield Road Nanaimo, B.C. V9S 3B3 T: 250-756-4444 E: les@rbengineering.ca	Lewkowicz Engineering Chris Hudic P. Eng. 1400 Bowwood Road Nanaimo, B.C. V9S 5Y2 T: 250-756-0355 C: 250-756-4631 E: chudic@lewkowicz.com	J.E. Anderson & Associates Dave Wallace BCLS 1-63411 Sherrin Road Nanaimo, B.C. V9T 2H1 T: 250-756-4631 C: 250-756-4631 E: nanaimo@jeanderson.com

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architect

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**THE STATION**  
ADDRESS: 520 Terminal Avenue N, Nanaimo, BC  
Legal Description: Lot A and B Plan B510, Lot 5 Plan 4748

No.	Date	Issue Notes
01	2021-10-07	DP APPLICATION
02	2021-11-15	DP REG-SUBMISSION
03	2022-01-04	DAP REVIEW
04	2022-05-23	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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Sheet Title: <b>COVER PAGE CONSULTANTS LIST</b>	
Drawn: JC	Checked: MTH
Job No. TBD	Sheet No. <b>A0.0</b>
Scale: AS NOTED	Date: May 23, 2022
CAD File: TBD	

**RECEIVED**  
**DP1252**  
**2022-MAY-24**  
Current Planning



1 SOUTHEAST VIEW  
Scale: NTS



2 EAST VIEW  
Scale: NTS



3 NORTH VIEW  
Scale: NTS



4 SOUTH-WEST VIEW  
Scale: NTS

**MATTHEW T. HANSEN**  
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# THE STATION

ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 0510, Lot 5 Plan 4748

No.	Date	Issue Notes
01	2021-10-01	DP APPLICATION
02	2021-11-11	DP RE-SUBMISSION
03	2022-01-24	DAP REVISION
04	2022-05-21	DP COMP. LETTER REPLY

No.	Date	Revision Notes
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**RECEIVED**  
**DP 1252**  
**2022-JUN-01**  
Current Planning

Sheet Title:  
**PERSPECTIVE**

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: <b>A0.2</b>
Scale: AS NOTED	Date: Jun 1, 2022
CAD File: TBD	



# ATTACHMENT I VIEW ANALYSIS

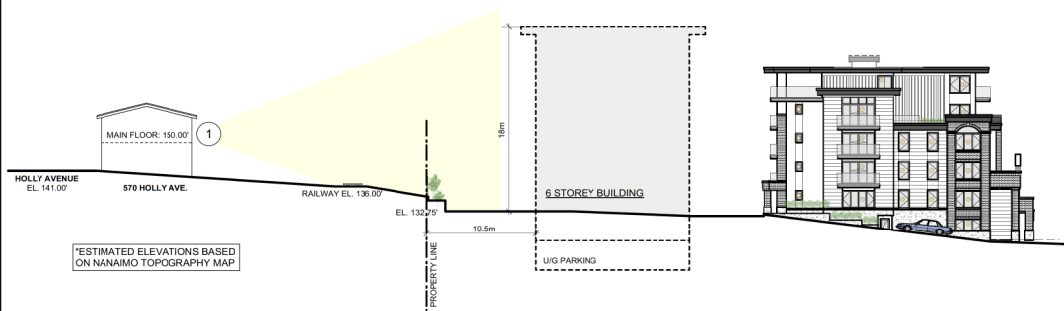


1 VIEW FROM A MAIN FLOOR LIVING RM. ON HOLLY AVE.  
Scale: NTS

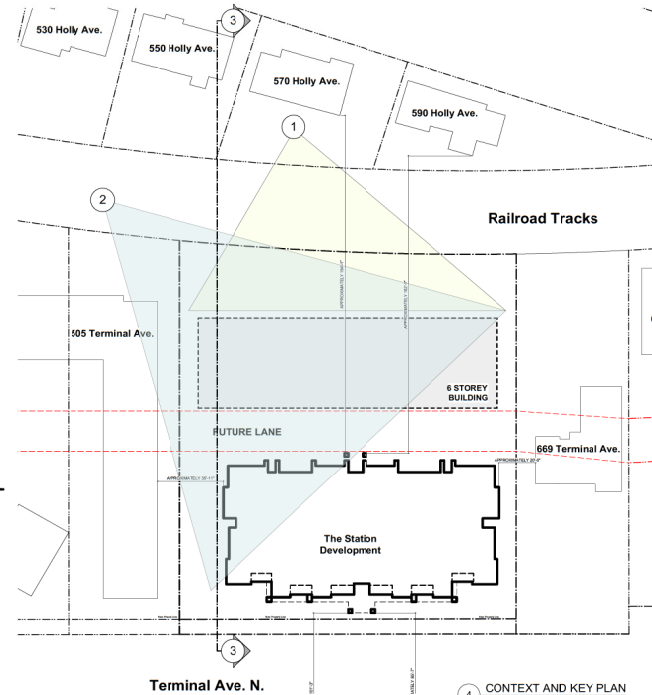


2 SOUTH -WEST VIEW  
Scale: NTS

"6 STOREY BUILDING" ILLUSTRATES THE LOCATION, MASSING & HEIGHT (18m) OF A STRUCTURE THAT COULD BE APPROVED UNDER THE CURRENT ZONING BY-LAW



3 CONTEXT ELEVATION  
Scale: NTS



4 CONTEXT AND KEY PLAN  
Scale: NTS

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**THE STATION**

ADDRESS: 529 Terminal Avenue N. Nanaimo, BC  
Legal Description: Lot A and B Plan 0510, Lot 5 Plan 4748

No.	Date	Issue Notes
01	2021-10-01	DP APPLICATION
02	2021-11-11	DP RE-SUBMISSION
03	2022-01-24	DAP REVISION
04	2022-05-21	DP COMP. LETTER REPLY

No.	Date	Revision Notes

**RECEIVED**  
**DP 1252**  
**2022-JUN-01**  
Current Planning

Sheet Title:  
**PERSPECTIVE FROM  
HOLLY AVENUE**

Drawn: JC	Checked: MTH
Job No.: TBD	Sheet No.: <b>A0.3</b>
Scale: AS NOTED	Date: Jun 1, 2022
CAD File: TBD	

# ATTACHMENT J LANDSCAPE PLAN AND DETAILS

1 of 8



Curved Lawn with Layered Planting



6' Solid Board Fence with Lighter Top



Metal Picket Fence w/ low planting and hedge on Terminal



Pergola w/ seating in amenity area

E 2022-05-24 Re-issued for DP  
D 2022-01-23 Issued for Review  
C 2021-11-04 Issued for DP  
B 2021-11-04 Issued for Review  
A 2021-11-01 Issued for Review

Date	Issue Notes

## Prospect & Refuge

LANDSCAPE ARCHITECTS

#12-1616 W. 2nd Ave. Vancouver, BC V6C 1G3

604-689-1003 info@prospectrefuge.ca

Building in over 25 years of history in Jonathan Lewis, Ltd.

Project Title and Address  
**The Station**  
529 Terminal Avenue N. Nanaimo, BC

Draw Title  
**Illustrative Plan**

Project Manager: AS Project No: 2021-47

Drawn By: NR Scale: As Noted

Reviewed By: AS Sheet No:

Date: 2021-10-26

**RECEIVED**  
**DP 1252**  
**2022-MAY-24**  
COURT PARKING

L2.1





LEGEND		DETAIL	
<b>HARDSCAPE MATERIALS:</b>			
	24" x 24" Texada Hydrapressed side pavers Color: Desert Sand		
	24" x 24" Texada Hydrapressed side pavers Color: Tan		
	Absolute Concrete Products, Pacific slate Colour: Granite Blend pattern: ashlar		
	Stumped concrete		
	PIP concrete paving		
	Perimeter gravel strip		
<b>SOFTSCAPE MATERIALS:</b>			
	Planting Bed		
	Sodded lawn		
<b>LINE &amp; SYMBOLS</b>			
	Property Line		
	Architectural Slab		
	3'-6" high metal guardrail		
	4' high metal fence		
	8' high solid wood privacy screening		

Date	Issue Notes
E 2022-05-24	Re-issued for DP
D 2022-01-23	Issued for Review
C 2021-11-09	Issued for DP
B 2021-11-04	Issued for Review
A 2021-11-01	Issued for Review

**Prospect & Refuge**  
LANDSCAPE ARCHITECTS  
#12-168 W. Street Vancouver, BC V6C 1G3  
604-689-1003 info@prospectandrefuge.com  
Building in over 25 years of history in the heart of the city.

Project Title and Address  
**The Station**  
529 Terminal Avenue N. Nanaimo, BC

**RECEIVED**  
DP 2022-05-24  
2022-MAY-24  
Current Planning

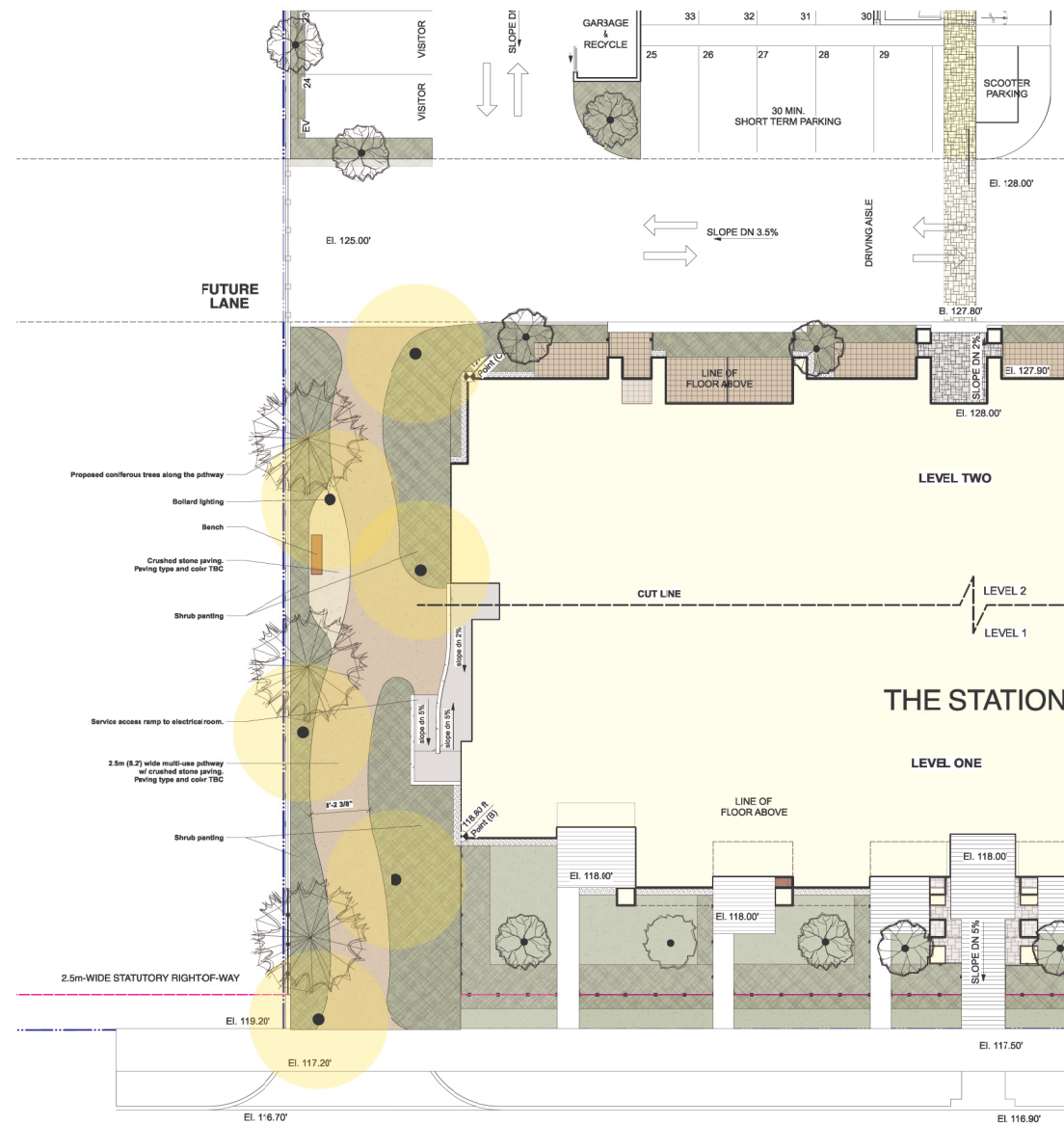
Sheet Title  
**Landscape Long-term Plan**  
(Drive station's ultimate future use)

Project Manager	Project No.
AS	2021-47

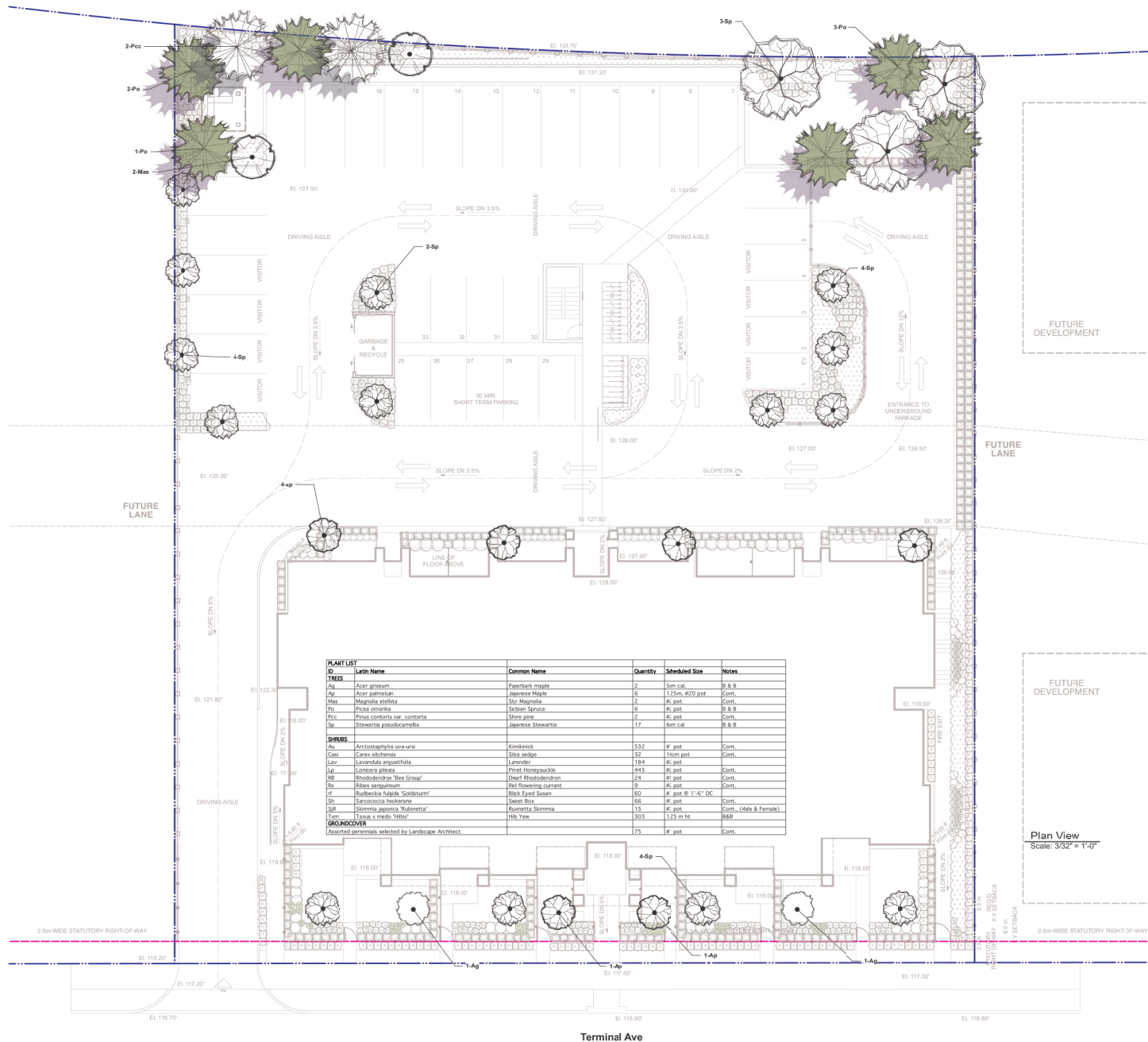
Drawn By	Scale
NR	1/8"=1'-0"

Reviewed By	Sheet No.
AS	L2.3

Date  
2021-10-26







- PLANTING LANDSCAPE NOTES**
- All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
  - Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
  - Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Soil analysis to be provided to the landscape architect for review and comment prior to delivery or site. Soil report shall be no older than one month.
  - Off slab minimum soil depths are as follows unless noted differently on plans:  
6" (150mm) for lawn areas  
18" (450mm) for shrub beds  
30" (900 mm) for trees
  - The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium.
  - All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standard for nursery stock.
  - Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
  - All plant material to be supplied on the job site must be obtained from a nursery participating in the BCNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying P.r. will be removed, disposed of and replaced at the contractor's expense.
  - Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on site and field subject to obstructions where applicable.
  - Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth to the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be potted prior to delivery except upon special approval.
  - Root balls to be free of pernicious weeds.
  - Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
  - Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Geomet' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
  - The Landscape Consultant is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
  - Planting material on City Boulevard has the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
  - All landscaping to have high efficiency irrigation system to ISBC standards.

E 2022-05-24

Re-issued for DP

D 2022-01-23

Issued for Review

C 2021-11-04

Issued for DP

B 2021-11-04

Issued for Review

A 2021-11-01

Issued for Review

Date

Issue Notes

Scale

Prospect & Refuge

LANDSCAPE ARCHITECTS

#120-8689 Westview Avenue, BC V6L 1G3

604-669-1003 info@prospectrefuge.ca

Building on over 25 years of history in Vancouver, British Columbia

Project Title and Address

The Station

529 Terminal Avenue N. Nanaimo, BC

Project Manager

AS

Project No.

2021-47

Drawn By

NR

Scale

As Noted

Reviewed By

AS

Drawn No.

Date

2021-10-26

L3.1

PLANTING LANDSCAPE NOTES

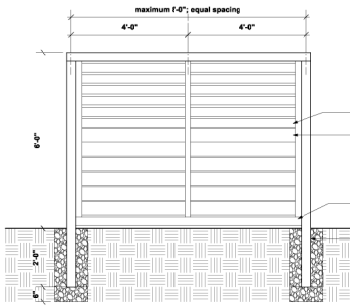
1. All materials and execution of landscape works shall conform to the current edition of the Canadian Landscape Standard (CLS) as a minimum acceptable standard. Refer to document for complete landscape documentation.
2. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
3. Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Soil analysis to be provided to the landscape architect for review and comment prior to delivery or site. Soil report shall be no older than one month.
4. Off slab minimum soil depths are as follows unless noted differently on plans:  
6" (150mm) for lawn areas  
18" (450mm) for shrub beds  
30" (900 mm) for trees
5. The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium.
6. All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to Canadian Landscape Standards for container grown stock.
7. Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supersede the list.
8. All plant material to be supplied on the site must be obtained from a nursery participating in the BCNA Phytophthora ramorum Certification Program. Plant material provided by the contractor found to be carrying PR will be removed, disposed of and replaced at the contractor's expense.
9. Obstructions - If obstructions or other conditions detrimental to healthy plant growth are encountered, notify the Landscape Consultant and request additional instructions. The exact location of trees shall be determined on site and field subject to obstructions where applicable.
10. Plants shall be nursery grown under climatic conditions similar to those in the location of the project. Plants shall be healthy, vigorous and of normal habit of growth to the species. They shall be free from diseases, insects, insect eggs and larvae and shall equal or exceed the size indicated on the plant list. The plants shall not be potted prior to delivery except upon special approval.
11. Root balls to be free of pernicious weeds.
12. Install 2" (50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
13. Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 'Groomed' as per Canadian Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
14. The Landscape Consultant is to approve any plant material substitutions. Upon delivery, all plant material must meet CLS standards.
15. Planting material on City Boulevard have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
16. All landscaping to have high efficiency irrigation system to ISBC standards.

PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES					
Aq	Acer glabrum	Pantherbark maple	2	5m cal.	B & B
Ag	Acer palmatum	Japanese Maple	6	1.5m #20 pot.	Cont.
Ma	Magnolia speciosa	Star Magnolia	2	#6 pot.	Cont.
Pr	Picea canadensis	Canadian Spruce	6	#6 pot.	B & B
Pr	Picea canadensis var. contorta	Shore pine	2	#6 pot.	Cont.
St	Stewartia pseudocornellia	Japanese Stewartia	17	6m cal.	B & B
SHRUBS					
Au	Arctostaphylos uva-ursi	Kimbleberry	532	# pot.	Cont.
Ca	Ceanothus americanus	Blueberry	12	10m pot.	Cont.
La	Lavandula angustifolia	Lavender	184	# pot.	Cont.
La	Lonicera japonica	Japanese Honeysuckle	445	# pot.	Cont.
Rh	Rhododendron 'Blue Group'	Overl. Rhododendron	24	# pot.	Cont.
Ri	Ribes sanguineum	Red flowering currant	9	# pot.	Cont.
Sf	Sorbus domestica 'Goldfinger'	Red. Event Sorbus	60	# pot @ 1'-6" OC	Cont.
Sh	Sarcococca hookeriana	Sweet Box	66	# pot.	Cont.
Si	Siermnia japonica 'Munnetta'	Munnetta Siermnia	13	# pot.	Cont. (Male & Female)
Tm	Taxus canadensis	White Pine	115	1.5 m ht.	B&B
GRANDCOVER			75	# pot.	Cont.
Associated accessories selected by Landscape Architect					

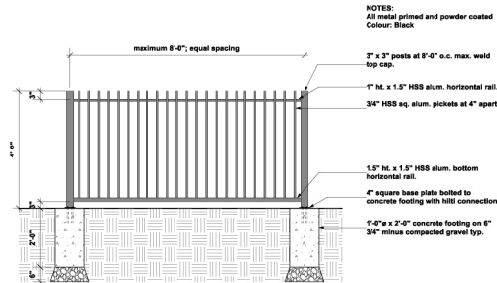




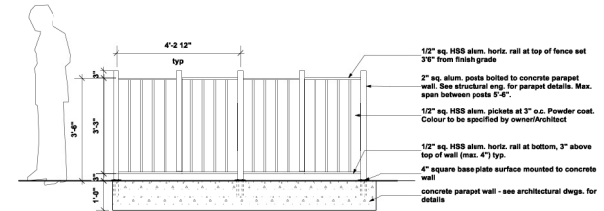




1 6'-0" ht. Solid Wooden Privacy Fence  
Scale: 1/2" = 1'-0"



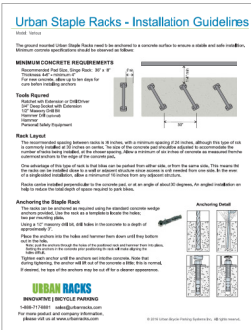
2 Typical 4'-0" ht. Metal Picket Fence with Gate  
Scale: 1/2" = 1'-0"



3 Typical 3'-6" ht. Metal Picket Guardrail  
Scale: 1/2" = 1'-0"



5 Staple bike racks, color black from Urban Racks  
Scale: 1/2" = 1'-0"  
Surface-mounted with tamper proof hardware.



4 6' long Hutch Park bench color: walnut from Wishbone  
Scale: 1/2" = 1'-0"  
Available from [www.wishboneitd.net](http://www.wishboneitd.net)  
Surface-mounted with tamper proof hardware

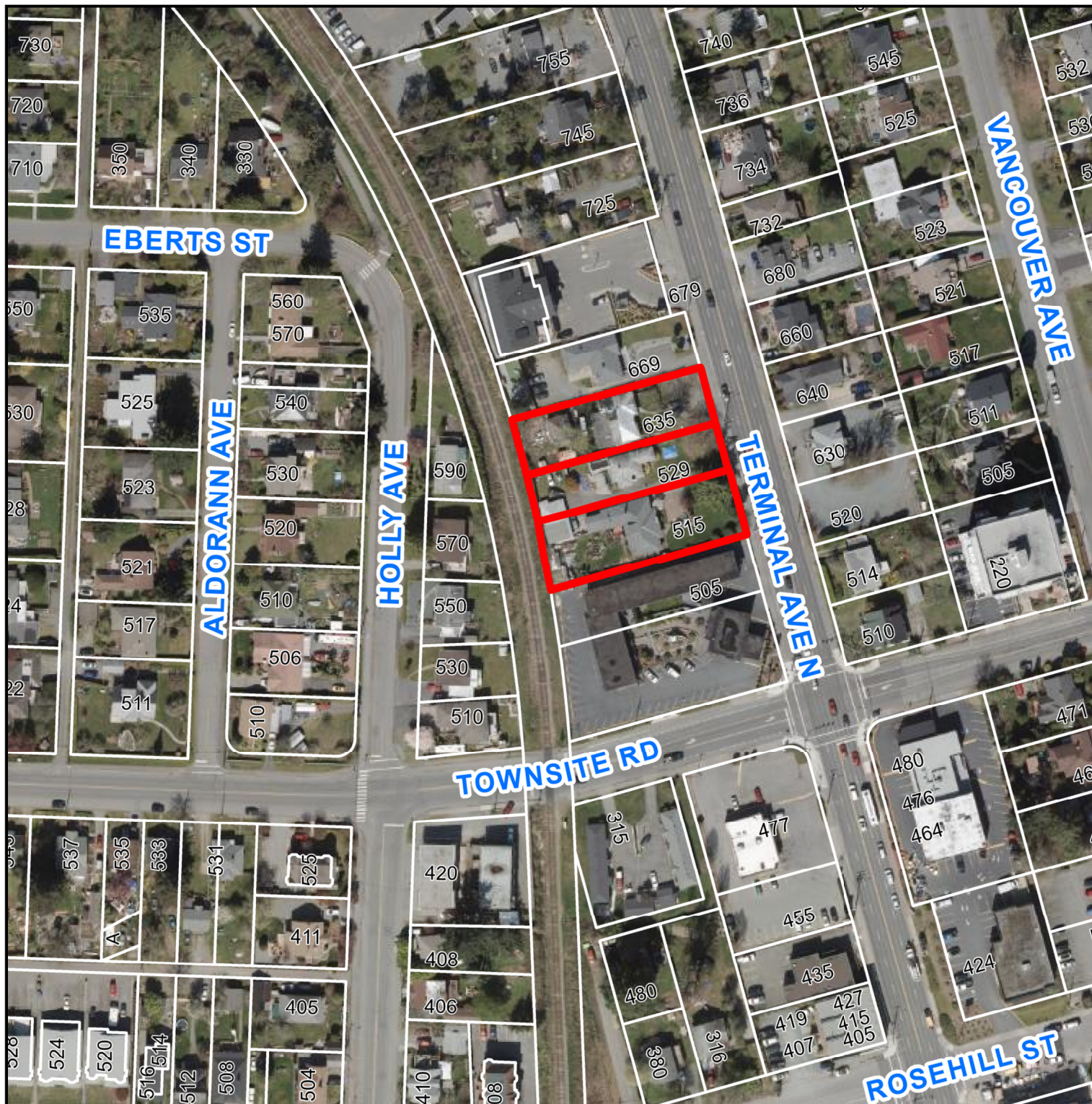


6 Amenity Area Pergola w/ benches  
Scale: n/a  
(Concept image)

E 2022-05-24 Re-issued for DP	
D 2022-01-23 Issued for Review	
C 2021-11-09 Issued for DP	
B 2021-11-04 Issued for Review	
A 2021-11-01 Issued for Review	
Date	Issue Notes
<b>Prospect &amp; Refuge</b> LANDSCAPE ARCHITECTS #121-1618 W 3rd Ave Vancouver, BC V6C 1G3 604-699-1003 <a href="mailto:info@prospectrefuge.ca">info@prospectrefuge.ca</a> Building on over 25 years of history in Jonathan Lewis, LWS.	
Project Title and Address <b>The Station</b> 529 Terminal Avenue N. Nanaimo, BC	
<b>RECEIVED</b> 2022-MAY-24 OUTRAMP PLANNING	
Sheet Title <b>Landscape Details</b>	
Project Manager AS	Project No. 2021-47
Drawn By NR	Scale As Noted
Reviewed By AS	Sheet No.
Date 2021-10-26	<b>L8b</b>



**ATTACHMENT K  
AERIAL PHOTO**



**DEVELOPMENT PERMIT APPLICATION NO. DP001252**



515, 529 AND 635 TERMINAL AVENUE